

**BUILDING CODE:**  
CURRENT 2015 INTERNATIONAL RESIDENTIAL CODE NEW JERSEY EDITION  
AND 2015 INTERNATIONAL BUILDING CODE NEW JERSEY EDITION  
**USE GROUP:**  
R-5 RESIDENTIAL: SINGLE FAMILY  
**CONSTRUCTION CLASSIFICATION:**  
VB COMBUSTIBLE, UNPROTECTED.

**STRUCTURAL DESIGN LOADING:**  
Roof: 30 lbs/sf LL + 10 lbs/sf DL = 40 PSF.  
Ceiling: 10 lbs/sf LL + 10 lbs/sf DL = 20 PSF.  
First Floor: 40 lbs/sf LL + 10 lbs/sf DL = 50 PSF.  
Second Floor: 40 lbs/sf LL + 10 lbs/sf DL = 50 PSF.  
Deck: 30 lbs/sf LL + 35 lbs/sf DL = 65 PSF.

**FLOOR AREAS: (gross square feet)**

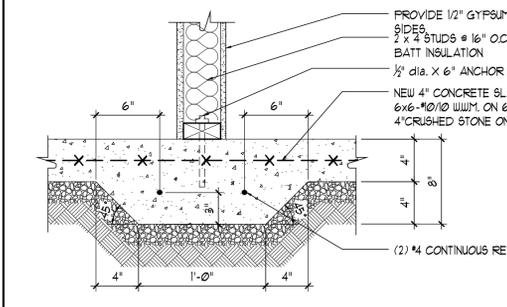
AREA	EXISTING	NEW	TOTAL
BASEMENT	1033 sq. ft.	0 sq. ft.	1033 sq. ft.
FIRST FLOOR	1536 sq. ft.	666 sq. ft.	2202 sq. ft.
SECOND FLOOR	450 sq. ft.	1411 sq. ft.	1861 sq. ft.
<b>TOTALS:</b>	<b>3019 sq. ft.</b>	<b>2083 sq. ft.</b>	<b>5102 sq. ft.</b>

**VOLUME: (cubic feet)**

EXISTING	NEW	TOTAL
27,111	18,747	45,858

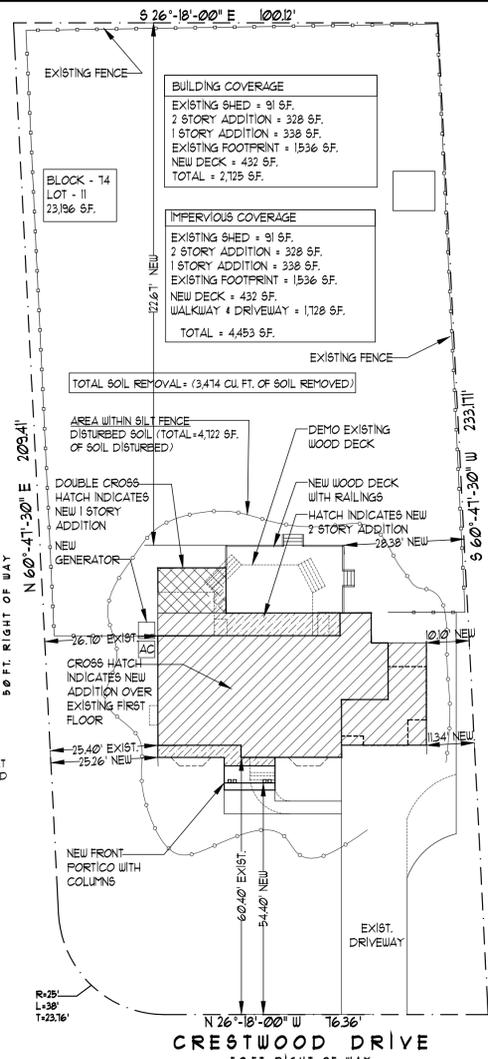
**LUMBER & FRAMING:**  
ALL LUMBER MATERIALS SHALL BE NEW SOUND AND DRY. THEY SHALL BE FREE OF IMPERFECTIONS WHEREBY THE STRENGTH MAY BE IMPAIRED. THEY SHALL BE OF THE SIZES CALLED FOR ON THESE DRAWINGS, AND OF THE GRADE AND SPECIES SPECIFIED HEREIN. THE CONTRACTOR SHALL PROVIDE ALL FRAMING HARDWARE REQUIRED TO COMPLETE FRAMING.  
CUTTING, NOTCHING AND BORING OF LUMBER SHALL BE IN ACCORDANCE WITH CODE. CUTTING, NOTCHING AND BORING OF ENGINEERED LUMBER SHALL COMPLY WITH MANUFACTURER'S SPECIFICATIONS.  
ALL STRUCTURAL MEMBERS (POSTS, JOISTS, GIRDERS AND RAFTERS) SHALL BE NO. 2 OR BETTER DOUGLAS FIR-LARCH (NORTH) WITH THE FOLLOWING MINIMUM CHARACTERISTICS:  
1. 1/8" MAXIMUM MOISTURE CONTENT  
2. FIBER STRESS (FBI) - 250 PSI  
3. HORIZONTAL SHEAR (FV) - 95 PSI  
4. MODULUS OF ELASTICITY (E) - 1,600,000 PSI  
ALL STUDS AND NON-STRUCTURAL FRAMING MAY BE HEM-FIR (NORTH) WITH THE FOLLOWING MINIMUM CHARACTERISTICS:  
1. 1/8" MAXIMUM MOISTURE CONTENT  
2. FIBER STRESS (FBI) - 175 PSI  
3. HORIZONTAL SHEAR (FV) - 75 PSI  
4. MODULUS OF ELASTICITY (E) - 1,400,000 PSI  
DOUBLE THE JOISTS UNDER PARALLEL PARTITIONS, SHOULDER TUB AND AS MAY BE INDICATED ON THE PLANS. SET ALL JOISTS AND BEAMS WITH NATURAL CAMBER UP. ENDS OVERLAPPED WHERE BEARING AND SECURELY SPKED TOGETHER. FRAME OPENINGS LARGER THAN SIXTEEN INCHES WITH DOUBLE HEADERS AND TRIMMERS.  
MICROLLAM HEADERS AND BEAMS AND T.J. JOISTS SHALL BE AS SIZED ON THE DRAWINGS. MICROLLAM AND T.J. JOISTS ARE MANUFACTURED BY TRUSS JOIST CORPORATION, BOISE, IDAHO, AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.  
PROVIDE TRIP-L-GRIP (OR EQUAL) ANCHORS IN ALL CATHEDRAL AND VAULTED CEILINGS. LAG COLLAR TIES TO RAFTERS AT PAN CEILINGS.  
PROVIDE 1" x 3" CROSS OR SOLID BRIDGINGS AT THE MID-SPAN OF ALL FLOOR JOISTS OR AS INDICATED ON THE PLANS. (8" O.C. MAX.)  
ALL EXTERIOR HEADERS SHALL BE TWO 2" x 2" x 1/2" W/ 1/2" PLYWOOD SPACER SPKED TOGETHER UNLESS OTHERWISE NOTED ON PLANS.  
ALL LUMBER IN DIRECT CONTACT WITH MASONRY, CONCRETE OR EARTH SHALL BE ACQ (ALKALINE COPPER QUATERNARY) TREATED. SILLS SHALL BE SET ON SILL SEAL INSULATION AND BE FASTENED TO FOUNDATION WALL WITH 1/2" DIAMETER HOT-DIPPED GALVANIZED ANCHOR BOLTS AT FOUR FOOT MAX. SPACING AND THREE INCHES FROM CORNERS. ALL EXPOSED EXTERIOR FASTENERS AND CONNECTORS SHALL BE HOT-DIPPED ZINC GALVANIZED, TRIPLE ZINC COATED (ELECTROPLATED) OR STAINLESS STEEL. ACQ TREATED LUMBER SHALL NOT COME IN CONTACT WITH ALUMINUM, STEEL, OR IRON PRODUCTS. THIS INCLUDES FLASHING, LAG, AND ANCHOR BOLTS. FOR NEW DECK CONSTRUCTION PROVIDE ICE AND WATER SHIELD FOR FLASHING BETWEEN EXTERIOR WALL AND DECK LEDGER BOARD.  
EXTERIOR SHEATHING AND SUBFLOORING SHALL BE C-D SHEATHING 1/2" OR BETTER WITH EXTERIOR GLUE OF THE SIZES INDICATED ON THE DRAWINGS. IF OSB SHEATHING IS USED, IT SHALL BE SPACED APART FROM ADJACENT SHEETS WITH SPACING AS RECOMMENDED BY THE MANUFACTURER TO ALLOW FOR EXPANSION. ALL SHEATHING TO BE EXTERIOR GRADE.

INSULATION SHALL BE FIBERGLASS BATTS WITH FOIL VAPOR BARRIER. VAPOR BARRIER TOWARD HEATED SIDE OF PARTITIONS, ROOF AND CEILINGS ADJACENT TO ATTIC. R-38.  
EXTERIOR 2X4 WALLS: R-13.  
EXTERIOR 2X6 WALLS: R-21.  
FLOORS OVER UNHEATED SPACES: R-30.  
ENCLOSE ENTIRE LIVING SPACE WITH A VAPOR BARRIER AND FIBERGLASS INSULATION OF THICKNESSES AS SPECIFIED.  
PROVIDE BATT INSULATION AROUND ALL BATHROOM SPACES AND MASTER BEDROOM FLOORS, WALLS, AND CEILING.  
ROOF VENTILATION: VENTILATE ALL ATTIC AND RAFTER SPACES WITH PROPER SIZED SCREENED RIDGE AND SOFFIT VENTS AND LOUVERS AS DETAILED ON THE DRAWINGS OR AS REQUIRED BY CODE. TAPER INSULATION OR USE Baffles TO ENSURE AIR FLOW AT EAVES.

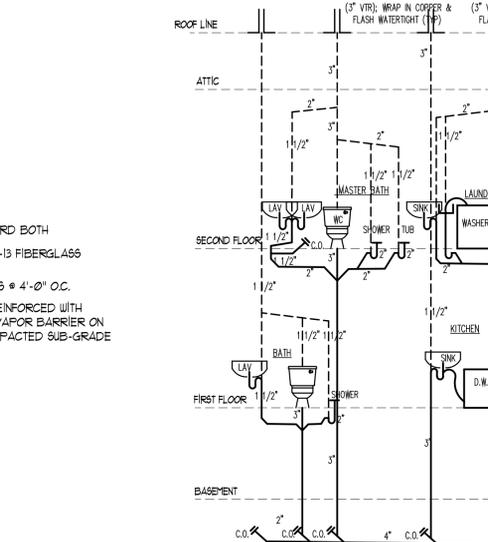


**DETAIL AT HAUNCHED SLAB**  
SCALE: 1/2" = 1'-0"

NO.	DATE	REVISIONS
1	06-03-2020	REVISED BLDG. HT.
1	11-25-2019	ISSUED FOR PERMIT



**PROPOSED SITE PLAN**  
SCALE: 1" = 20'-0"  
DATE: 9-15-2019



**PLUMBING RISER DIAGRAM**  
SCALE: N.T.S.

**ZONING INFORMATION**  
R-3 ZONE SINGLE FAMILY  
LOT-11 BLOCK-74  
20 CRESTWOOD DRIVE  
CHATHAM TOWNSHIP, NEW JERSEY

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (SQ. FT.)	25,000 sq. ft. corner lot	23,196 sq. ft.	no change
MAX. LOT DEPTH	200 ft.	209.41 ft.	no change
MINIMUM FRONT YARD SETBACK (FT.)	50 ft.	25.40 ft.	25.26 ft. * lafayette ave.
MINIMUM REAR YARD	50 ft.	133.67 ft.	122.67 ft.
MINIMUM SIDE YARD COMBINED	15 ft.	18.70 ft.	10.10 ft. *
MAXIMUM BUILDING HEIGHT (STORIES)	N/A	N/A	N/A
MAXIMUM BUILDING HEIGHT (STORIES)	2-1/2 story	2 story	2-1/2 story
MAX. BUILDING COVERAGE	2,000+ 6% (LOT) = 3,392 sq. ft.	1,639 sq. ft.	2,725 sq. ft.
MAX. IMPERVIOUS COVERAGE	4,000+ 20% (LOT) = 8,639.2 sq. ft.	3,167 sq. ft.	4,453 sq. ft.
MAXIMUM BUILDING HEIGHT (FT.)	35 ft. 2-1/2 story	25.5 ft.	34.92 ft. 2-1/2 story

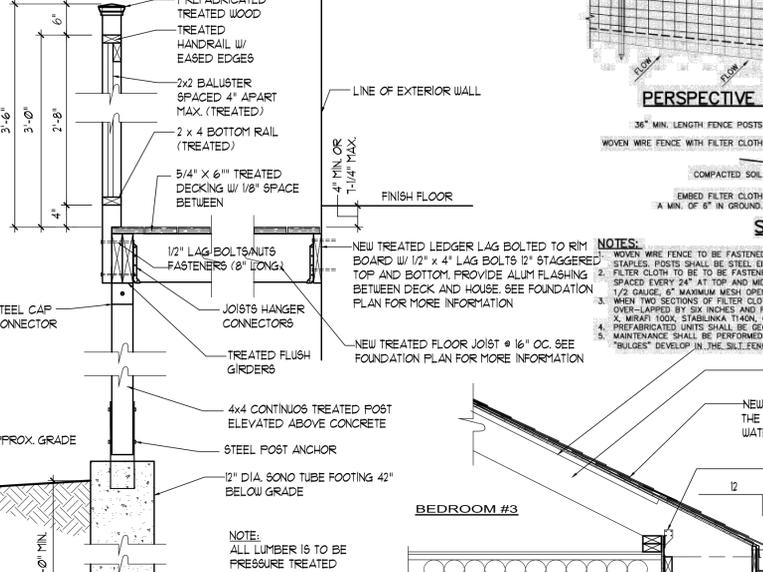
\* BULK VARIANCE REQUIRED

THE APPLICANT SHALL CALL TO COORDINATE INSPECTIONS WITH THE ENGINEERING DEPARTMENT 24 HOURS PRIOR TO THE START OF CONSTRUCTION AS RELATED TO GRADING AND DRAINAGE IMPROVEMENTS ON SITE.

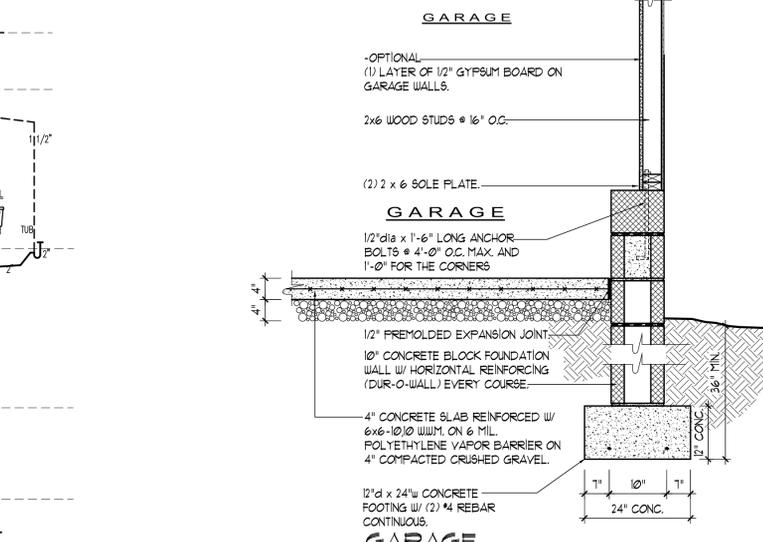
THE OWNER SHALL BE AWARE THAT POSTING OF ENGINEERING ESCROW FOR CONSTRUCTION ADMINISTRATION OVERSITE, PLAN REVIEW AND PROJECT CLOSEOUT WILL BE REQUIRED AT THE TIME BUILDING PERMITS ARE ISSUED. PLEASE BE AWARE THAT UNUSED ESCROW MONEY WILL BE RETURNED TO THE OWNER UPON THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (C.O.)

OWNER IS TO BE AWARE THAT IF STORMWATER RUNOFF DRAINAGE PROBLEMS OCCUR AS A RESULT OF THE SITE IMPROVEMENTS THAT ARE DETRIMENTAL TO THE PROPERTY AND/OR NEIGHBORING PROPERTIES AS A RESULT OF THIS CONSTRUCTION, IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO REMEDY THAT DRAINAGE ISSUE.

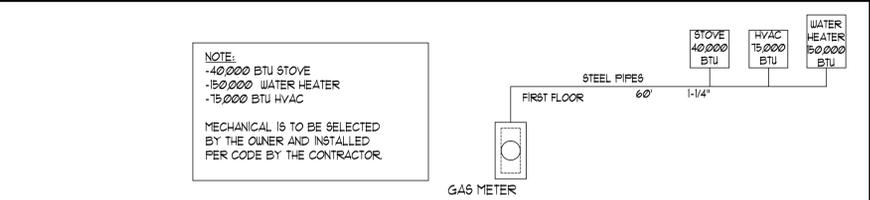
ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE UNLESS APPROVED FOR BACKFILL BY THE TOWN. ANY SOIL DISTURBANCE SHALL BE DONE AS SET FORTH BY TOWN ORDINANCES.



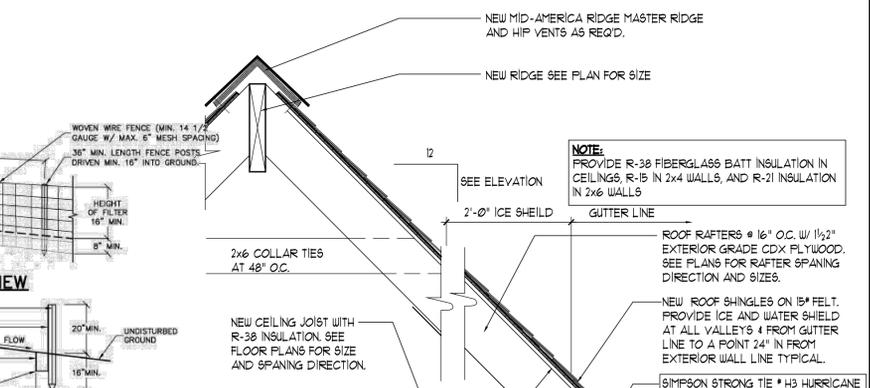
**DECK SECTION**  
SCALE: 3/4" = 1'-0"



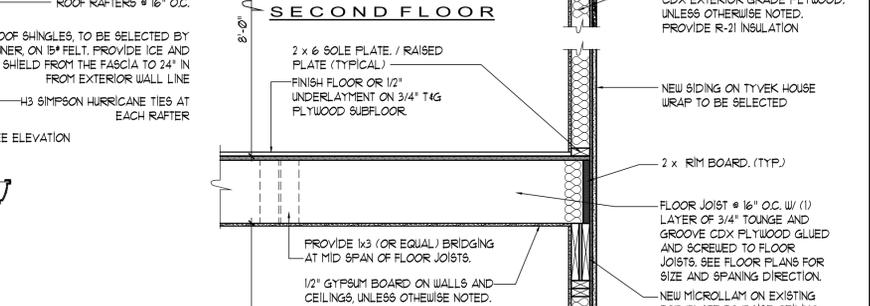
**GARAGE WALL SECTION**  
SCALE: 3/4" = 1'-0"



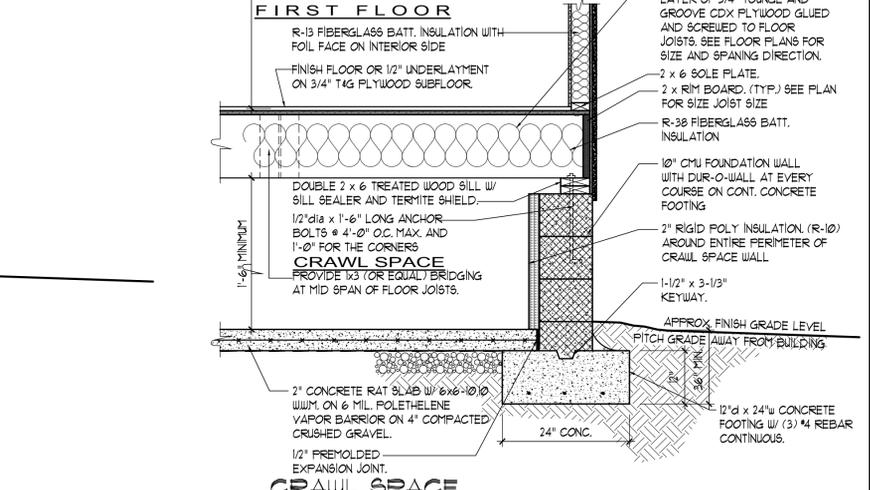
**GAS RISER DIAGRAM**  
SCALE: N.T.S.



**PERSPECTIVE VIEW**  
**SECTION VIEW**



**BEDROOM #3 SECTION**  
SCALE: 3/4" = 1'-0"



**GARAGE**  
**GARAGE WALL SECTION**  
SCALE: 3/4" = 1'-0"

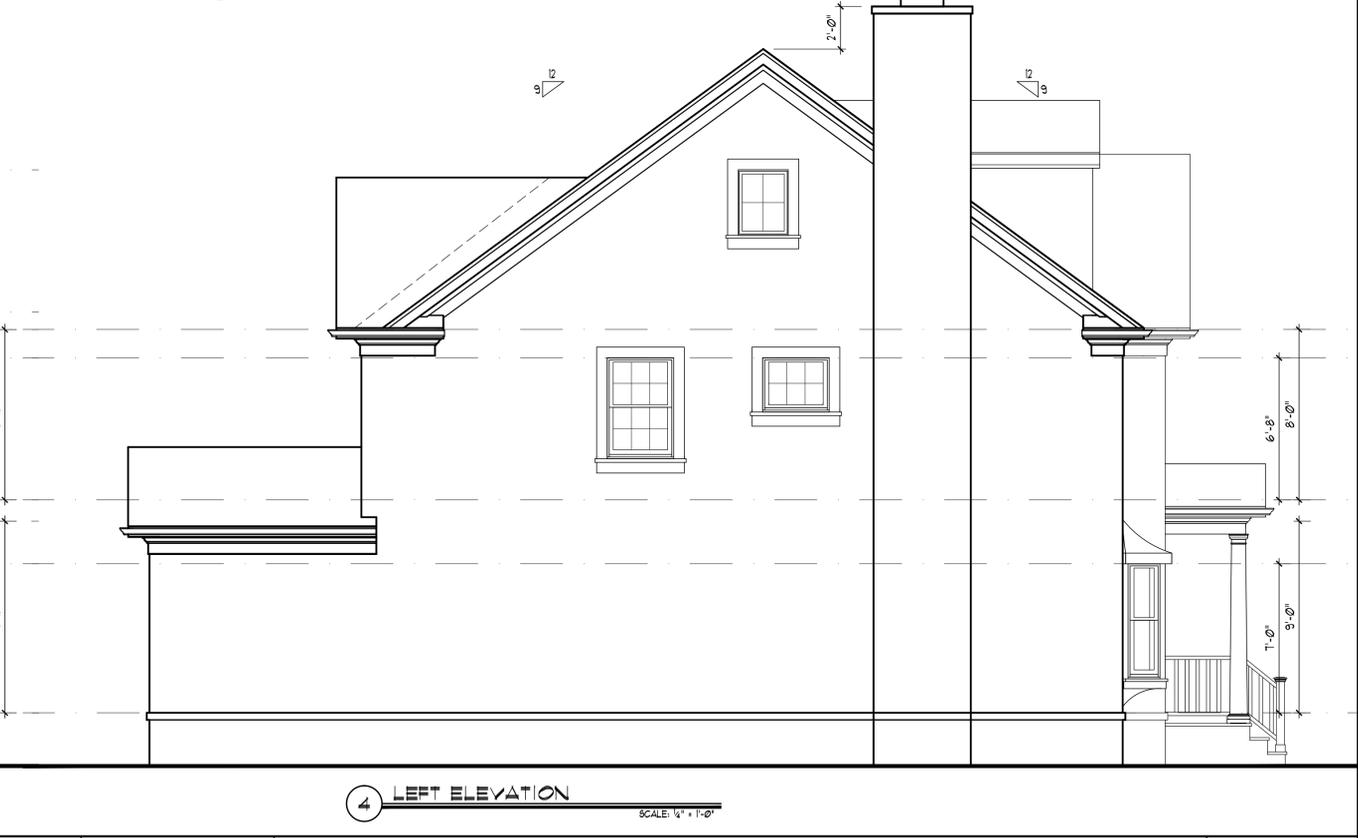
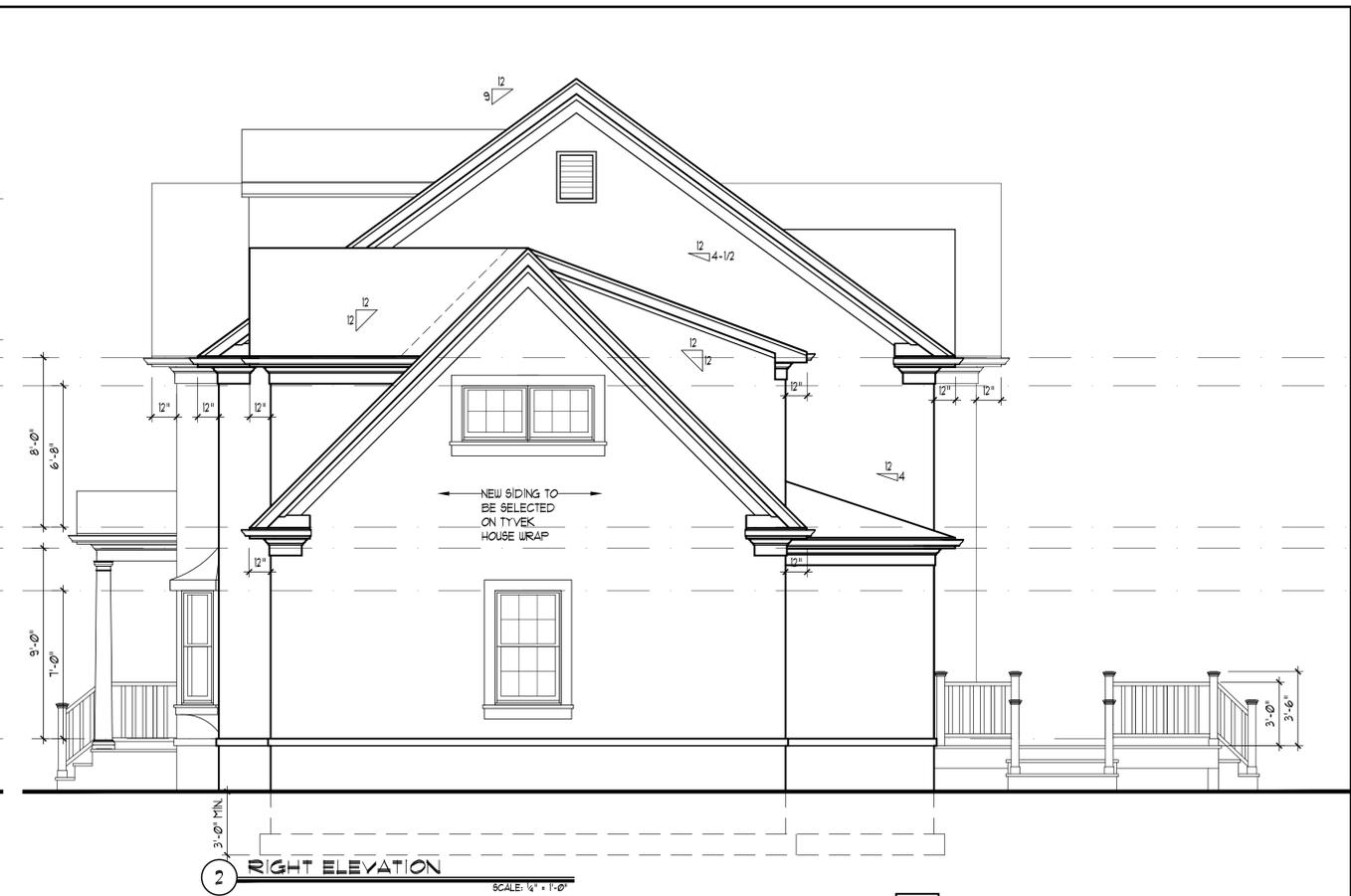
**GENERAL NOTES AND SITE PLAN**  
**CAIN RESIDENCE**  
**ADDITION AND ALTERATIONS TO**  
**20 CRESTWOOD DRIVE**  
**CHATHAM TOWNSHIP, NEW JERSEY 07928**

**A1.0**

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**STANLEY J. KUFEL JR.**  
Registered Architect, NJ Lic. No. AI-12635

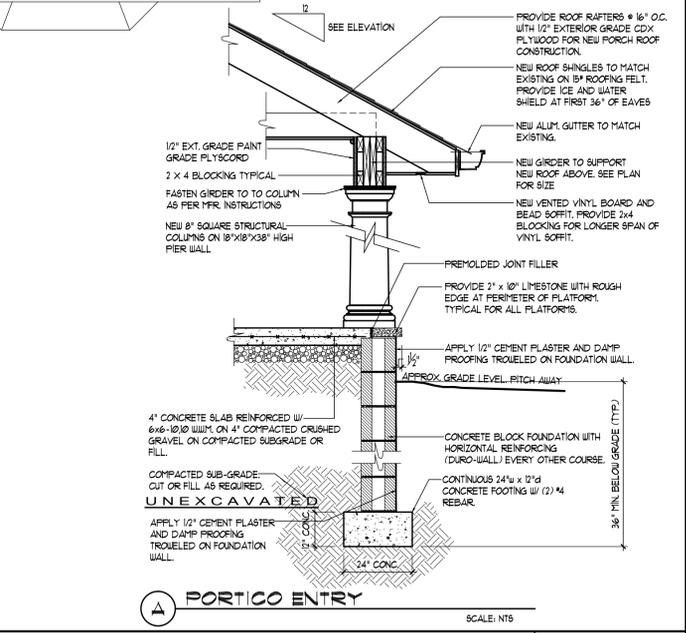
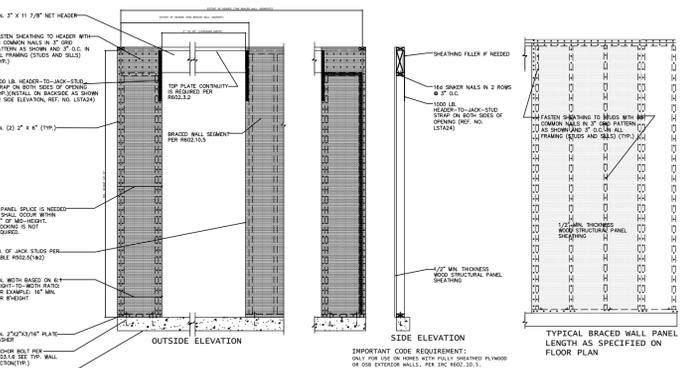
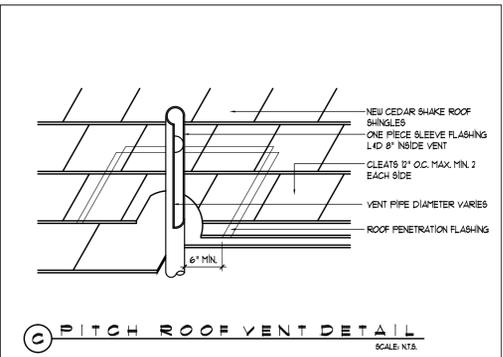
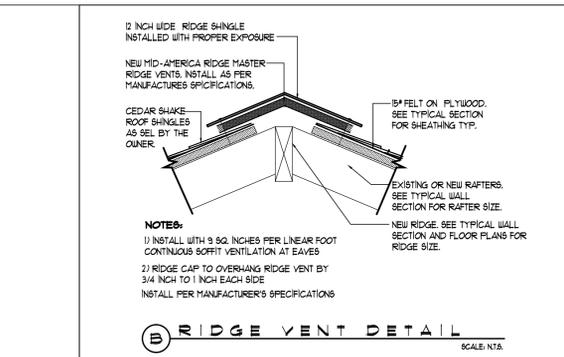
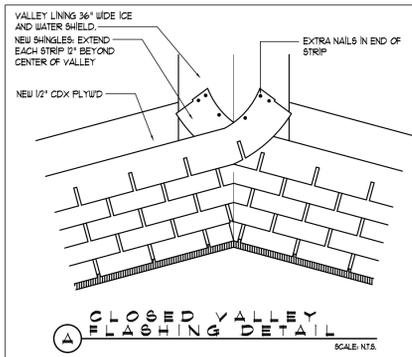
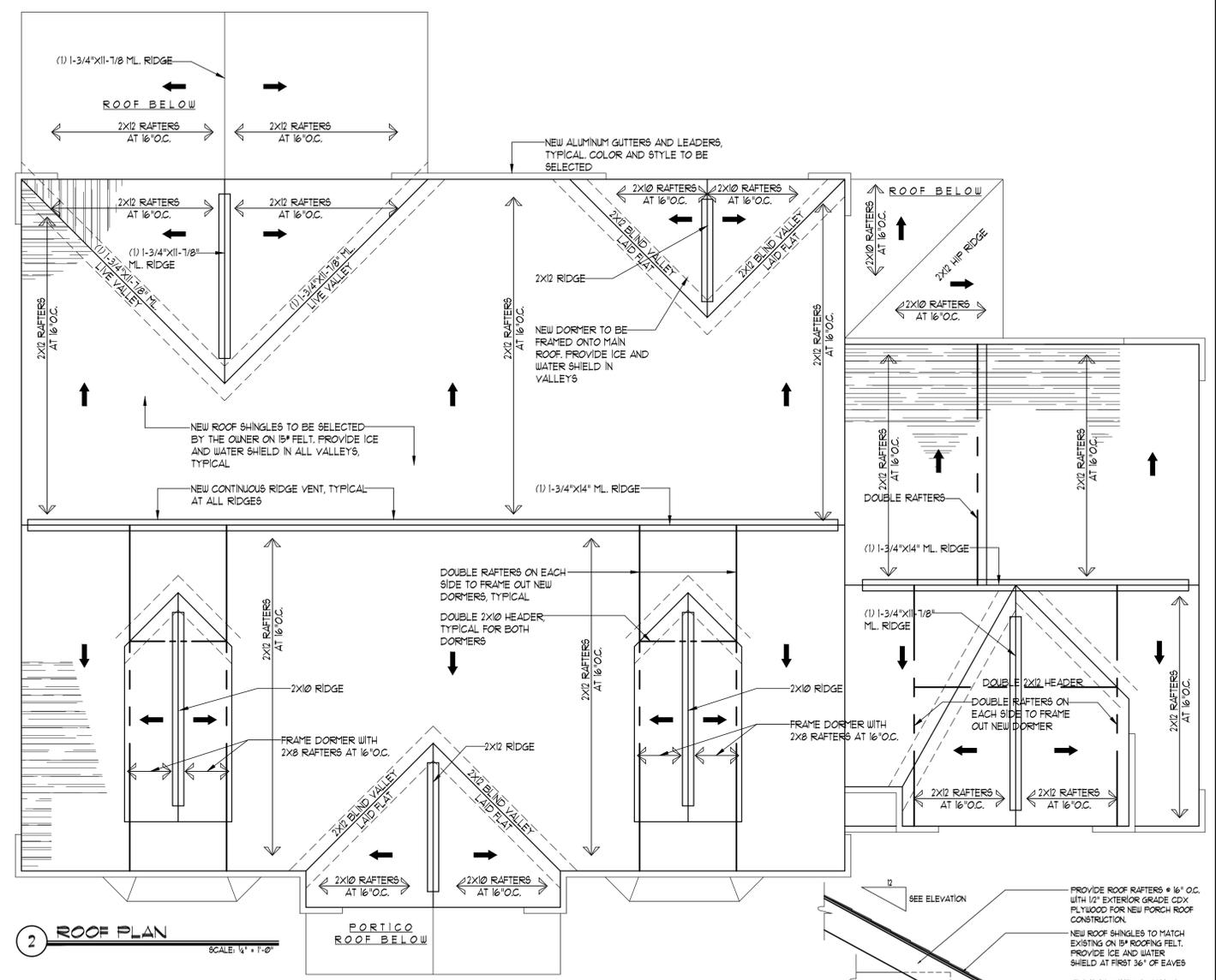
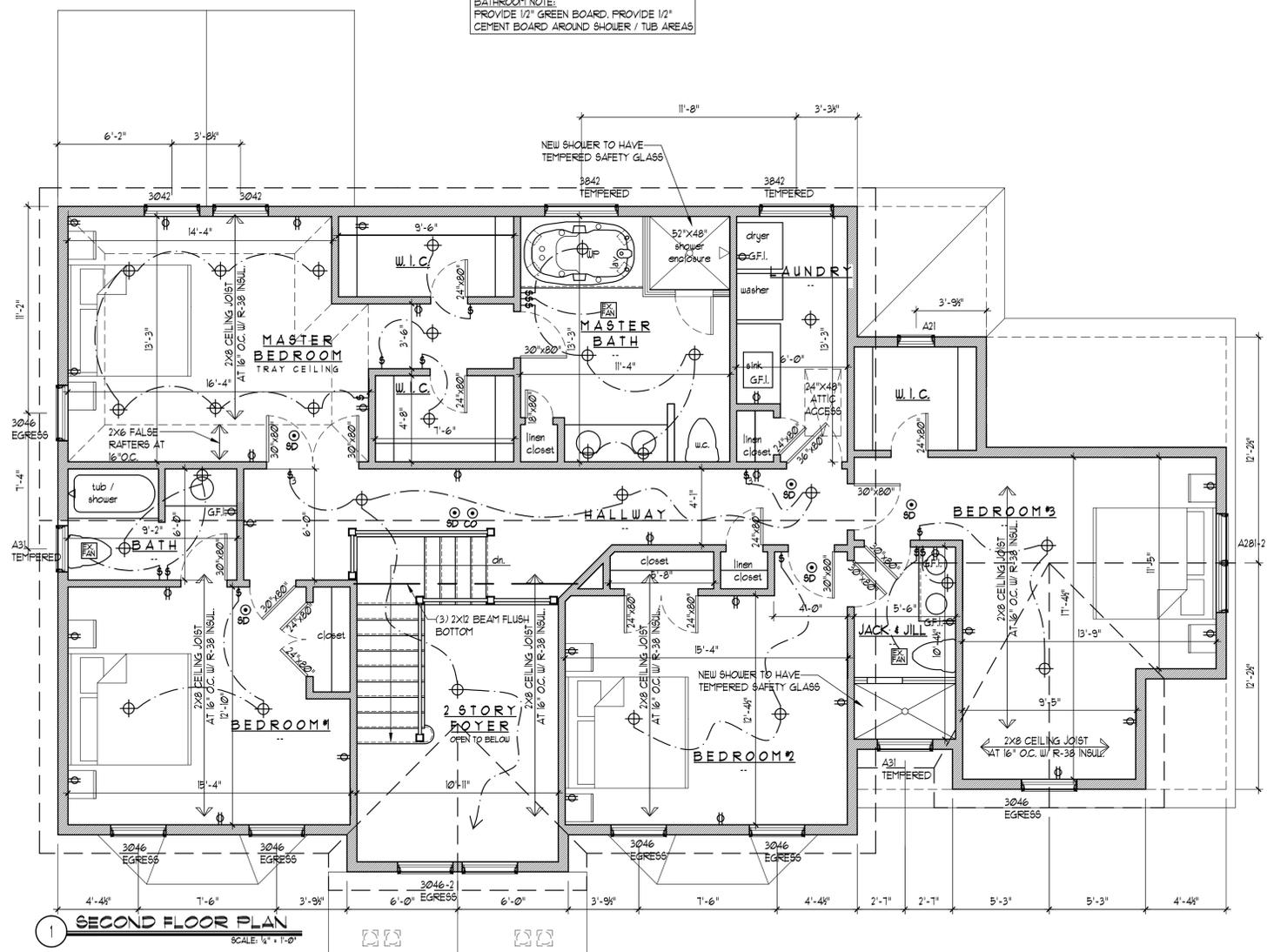
DESIGNED:	FN
DRAWN:	FN
CHECKED:	SJK
DATE:	11-11-2019
SCALE:	AS NOTED



		<b>S. J. Kufel Associates/Architects</b> 337 Demarest Avenue Oradell, NJ 07649 Phone (201) 973-5454	<b>STANLEY J. KUFEL JR.</b>  Registered Architect, NJ Lic. No. AI-12635	DESIGNED: FN DRAWN: FN CHECKED: SJK DATE: 11-11-2019 SCALE: AS NOTED	<b>ELEVATIONS</b> <b>CAIN RESIDENCE</b> <b>ADDITION AND ALTERATIONS TO</b> <b>20 CRESTWOOD DRIVE</b> <b>CHATHAM TOWNSHIP, NEW JERSEY 07928</b>	<b>A2.0</b>
NO. 1 DATE 06-03-2020 11-25-2019	REVISIONS REVISED BLDG. HT. ISSUED FOR PERMIT					



BATHROOM NOTE:  
 PROVIDE 1/2" GREEN BOARD, PROVIDE 1/2"  
 CEMENT BOARD AROUND SHOWER / TUB AREAS



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 Registered Architect, NJ Lic. No. AI-12635

DESIGNED: FN  
 DRAWN: FN  
 CHECKED: SJK  
 DATE: 11-11-2019  
 SCALE: AS NOTED

**SECOND FLOOR PLAN & ROOF PLAN**  
**CAIN RESIDENCE**  
**ADDITION AND ALTERATIONS TO**  
**20 CRESTWOOD DRIVE**  
**CHATHAM TOWNSHIP, NEW JERSEY 07928**

**A4.0**